



EMERALD
RESERVE

MAY, 2026

EMERALD RESERVE MASTERPLAN

DESIGN GUIDELINES

RINKA+



Village of _____
GREENDALE
THE GARDEN COMMUNITY • WI



"Dear Friend, Just visited [Emerald Reserve] in Greendale. First, I enjoyed lunch, then had a relaxing spa visit. There was a wonderful band playing in the greenspace, too! Very pet friendly - lots of dog walkers! Love the new apartments!"

- Community Engagement Respondent Imagining Sending a Post Card about their experience at the Emerald Reserve Masterplan Area in 2035

1.0

INTRODUCTION

- 1.1 Purpose
 - 1.2 Planning Area Boundary
-

2.0

SITE DESIGN GUIDELINES

- 2.1 Building Placement/Street Edges
 - 2.2 Private Roadway Infrastructure
 - 2.3 Parking & Loading/Services
 - 2.4 Landscaping
 - 2.5 Outdoor Lighting
-

3.0

BUILDING DESIGN GUIDELINES

- 3.1 Building Facade
 - 3.2 Materials
 - 3.3 Outdoor Lighting
 - 3.4 Regulations for Building Zones - Descriptions
 - 3.5 Regulations for Building Types - Table
-

4.0

SIGNAGE GUIDELINES

- 4.1 Site Signage
- 4.2 Building Signage

1.0

INTRODUCTION



FIGURE 1.1.a: Aerial Rendering of Proposed Emerald Reserve Masterplan Plaza

1.1 Purpose

The Emerald Reserve Masterplan Design Guidelines provide a framework to support the coordinated redevelopment of the Emerald Reserve site as a mixed-use district that is economically viable, context-sensitive, and reflective of community goals. The guidelines are intended to shape future development in a manner that promotes a cohesive identity, high-quality development, and a consistent standard of design across the district, while allowing flexibility for phased implementation over time.

These guidelines translate the Emerald Reserve Masterplan into clear design direction for site planning, building form, streets, open spaces, and supporting infrastructure. They are intended to ensure

that individual projects—whether new construction, redevelopment, or adaptive reuse—contribute to the broader vision for the district and function as part of a unified whole. Over time, this approach helps maintain consistency across multiple development phases, ownerships, and investment cycles while remaining responsive to evolving market conditions.

This document is intended for use by property owners, developers, designers, municipal staff, and review bodies as a shared reference throughout the development process.

By establishing clear expectations and design priorities, the guidelines support predictable outcomes, streamline review, and reinforce a long-term commitment to

creating a vibrant, connected, and well-designed district that serves both surrounding neighborhoods and the broader community.

1.2 Planning Area Boundary

These Design Guidelines apply to the Emerald Reserve Masterplan boundary generally bounded by West Edgerton Avenue to the north and West Grange Avenue to the south, with South 76th Street bisecting the study area.

Refer to Figure 1.2.a for the defined boundary of the planning area.

The inclusion of land within this boundary is intended to encourage a greater mix of uses and attract high-quality development that adds long-

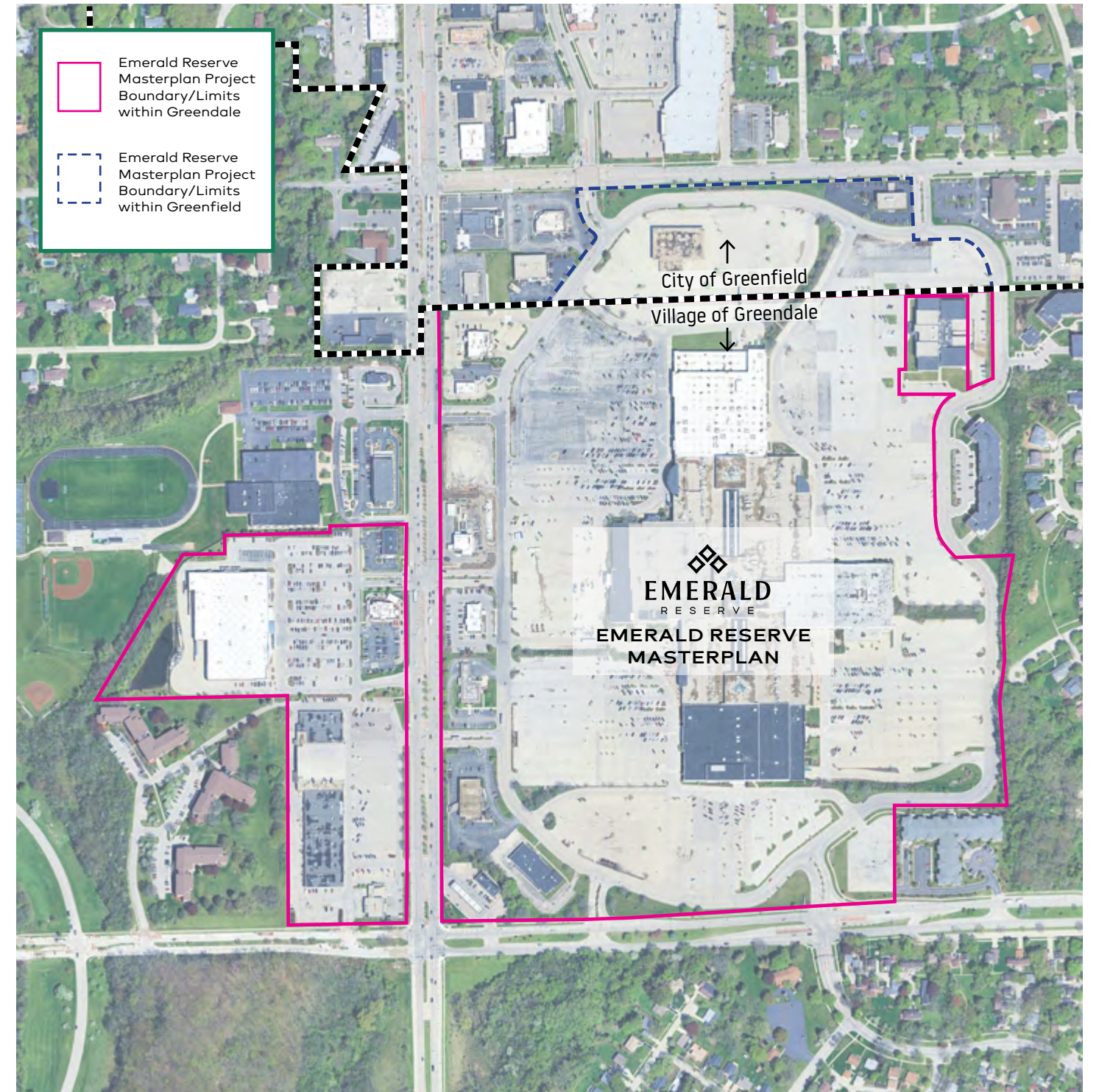


FIGURE 1.2.a: Emerald Reserve Masterplan Planning Area Boundary

term value to the Village of Greendale. These Design Guidelines build upon that framework by establishing expectations for site design, building placement, materials, lighting, landscaping, and signage that support a safe and walkable urban environment.

The intent is to foster a cohesive live-work-play district.

2.0

SITE DESIGN GUIDELINES

The following site design guidelines establish expectations for how buildings, parking, landscaping, and lighting shall be organized within individual development parcels. These standards are intended to reinforce a cohesive district framework, prioritize pedestrian experience, and support long-term adaptability as redevelopment occurs incrementally over time.

Site design must contribute to the broader public realm vision. Each development proposal shall demonstrate how its site configuration supports walkability, visual quality, and compatibility with adjacent properties and designated character zones.

2.1 Building Placement and Street Edges

Buildings shall be positioned to define streets, frame public spaces, and reinforce pedestrian corridors. Primary building facades shall align with required build-to zones and establish consistent street edges along designated frontages for at least the first two floors above ground level. Surface parking, service areas, and drive aisles shall not dominate primary street frontages.

Corner sites shall emphasize architectural presence and clearly address both streets. Building entrances shall be oriented toward public streets, plazas, or primary pedestrian routes. Where parcels abut public gathering spaces or designated pedestrian corridors, building placement shall support active frontage and direct access.

Gaps between buildings should be minimized along primary streets. Where larger setbacks

are necessary, these areas shall be designed as intentional landscape zones, outdoor seating areas, or pedestrian amenities rather than residual space.

2.2 Private Roadway Infrastructure

All roadway infrastructure (public or private) within the Emerald Reserve Masterplan shall be constructed to municipal roadway standards. Consult the village of Greendale for roadway and pedestrian infrastructure standards.

2.3 Parking and Loading / Service

Parking areas shall be located to the side or rear of buildings wherever feasible. Surface parking shall not interrupt primary pedestrian corridors or occupy prominent street corners. Shared parking arrangements are encouraged to reduce redundant paved areas and improve overall site efficiency.

Loading, service, and refuse areas shall be located away from primary streets and public gathering spaces to the greatest extent practicable. These functions must be screened through building placement, landscaping, walls, or architectural elements consistent with the primary structure. Service access routes shall be organized to minimize conflicts with pedestrian circulation.

Parking and service layouts shall be designed to allow future reconfiguration or redevelopment as parcel intensities evolve.

Refer to Section 3.0 for additional parking requirements and guidelines.

2.4 Landscaping

Landscaping shall be used to reinforce street character, define pedestrian spaces, and soften transitions between development and adjacent properties. Planting design shall prioritize native or climate-appropriate species and incorporate canopy trees along streets and within parking areas.

Landscape areas shall be intentionally designed and not serve as residual space. Parking lots must include internal planting islands and perimeter screening to reduce visual scale and mitigate heat island effects. Where development abuts lower-intensity residential areas, enhanced buffering and planting density shall be provided.

Landscape design shall contribute to stormwater management strategies where feasible and be integrated with pedestrian pathways and gathering spaces.

Landscape design and tree selection should be reviewed with the village of Greendale prior to development. Low maintenance plantings and ornamental tree species are recommended along public walkways to reduce ongoing maintenance needs, particularly for trees located near buildings.

2.5 Stormwater Requirements

For stormwater compliance, consult the village of greendale for the applicable regional storm water strategy that applies to the Emerald Reserve Masterplan. The is strategy will guide the requirements for individual, privately owned parcels.

EXAMPLES OF SITE PARKING AND LANDSCAPING



2.4 Outdoor Lighting

Site lighting shall enhance safety, visibility, and wayfinding while minimizing glare and spillover onto adjacent properties. Lighting design shall prioritize pedestrian-scale fixtures along sidewalks, plazas, and gathering areas.

Parking lot lighting shall be uniform and shielded to prevent excessive brightness or light trespass. Building-mounted lighting shall complement architectural design and avoid exposed fixtures that create glare.

Accent lighting may be incorporated to highlight architectural features, public art, or landscape elements, provided it supports the overall character of the district and does not create visual clutter. All lighting plans shall demonstrate coordination across parcels to maintain a cohesive nighttime environment. Artificial lighting will be a component of the Emerald Reserve Masterplan that promotes pedestrian and driver safety in the neighborhood, increases the quality of life by extending the hours one can be active outside, and creates an urban ambiance.

Landscape & Hardscape Lighting

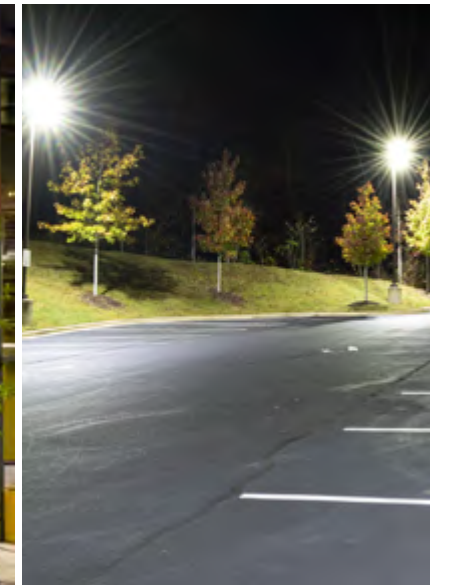
Landscape accent lighting is encouraged for public safety and neighborhood identity. This includes tree uplighting, illuminated bollard lighting, under bench lighting, small lamp post lighting and festoon lighting. Lighting that supports outdoor activity is encouraged.

Outdoor lighting standards shall follow these general guidelines:

- Height limitations: 15 feet- 18 feet maximum for pedestrian lights, 18 feet- 25 feet maximum for the outermost bank of lights, and 35 feet maximum for other interior parking lot lighting
- All lighting must be LED.
- Fixtures shall be a full-cut-off (FCO) design to minimize glare and spillover.
- Outdoor seating areas should include pedestrian level lighting at comfortable illumination levels. Pole-mounted or bollard lighting should be used as an effective way to illuminate walkways and define pedestrian zones
- Outdoor site and parking areas should provide a safe and inviting environment for users.
- Site lighting must be controlled to prevent excessive glare onto adjacent properties or the public right-of-way
- A consistent light temperature of 3000k should be followed across the Emerald Reserve Masterplan study area for landscape lighting. This light level is warm and inviting, timeless, and consistent brand identity that is also comfortable at night.
- Colored and/or color changing landscape lighting would need special permission from the village of Greendale. This may require rendering or visualizations to illustrate the final appearance prior to permission and lighting installation.



EXAMPLES OF OUTDOOR SITE LIGHTING



3.0

BUILDING DESIGN GUIDELINES

General Guidelines for Building Design & Construction

Design guidelines, including site setbacks and constraints for different building typologies are shown in Section 3.5. The following guidelines offer a general explanation of building types indicative to promoting a walkable and sustainable urban development.

- Buildings should identify with a cohesive and complimentary architectural character. A timeless design language that elevates the pedestrian, resident, and visitor experience is essential.

3.1 Building Facade

Implementation of cohesive architectural composition across individual buildings ensures that structures harmonize with one another, establish a consistent neighborhood design language, and provide legible architecture without limiting individual building expression or style.

Visually engaging facades enhance the public realm and contribute positively to adjacent open spaces, with the potential to increase overall property value throughout the development. A timeless design aesthetic shall be demonstrated across all building typologies.

BUILDING FACADE COMPOSITION

Building Base

The base of a building anchors it to the ground and forms the

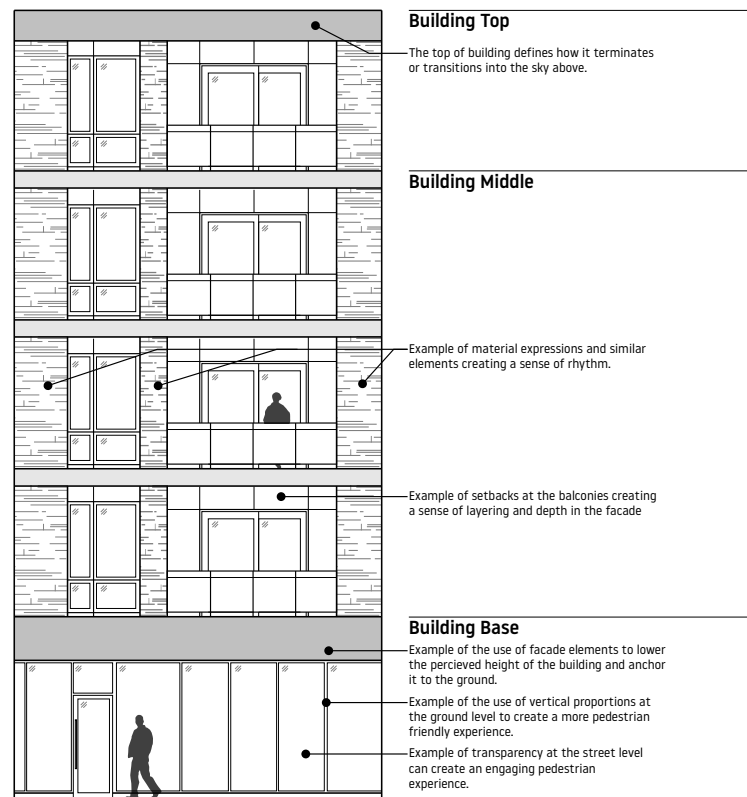


FIGURE 3.1.a: Example of successful building material composition.

primary interface between pedestrians and the structure. Ground-level elements shall be highly articulated, scaled to the pedestrian experience, and constructed of durable, high-quality materials. Transparency through glazing shall be incorporated wherever appropriate to reinforce visual connection and activity.

Rhythm

Rhythm refers to the repetition of bays, window groupings, or other architectural elements along a facade. These patterns often reflect structural or programmatic organization, with corner conditions and terminations receiving special treatment. Repetition provides visual continuity while helping to break down larger facades into smaller, human-scaled components.

Scale

Buildings are experienced from multiple distances. Compositional elements—including entries, windows, structural bays, and roof features—shall be proportioned to remain distinguishable both up close and from afar. Overall building height and massing shall be consistent with the scale and character of the district.

In transitioning from an auto-oriented retail environment to a mixed-use, walkable district, pedestrian scale is of particular importance. Special attention shall be given to the scale, massing, and articulation of street-level elements to reinforce pedestrian comfort.

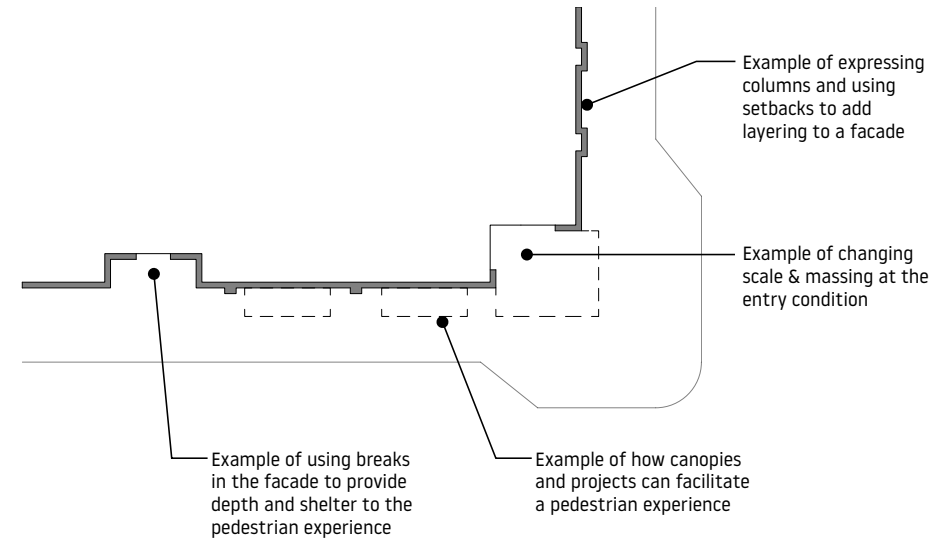


FIGURE 3.1.b: Example of facade setbacks and articulation.

Height

Building height within the Emerald Reserve study area shall comply with the standards established in the Building Type Regulations (See Section 3.5).

The plan seeks to achieve a dense, urban character within designated mixed-use areas while remaining appropriately scaled to the Village of Greendale. Greater height and intensity are intended to be concentrated in central portions of the district and along primary corridors, with building heights transitioning down toward adjacent existing and planned residential neighborhoods. Building toward the upper end of permitted height ranges is encouraged where consistent with this framework. Taller buildings shall not result in large, uninterrupted surface parking fields or development patterns that undermine walkability. All buildings shall comply with established height minimums and required transitional buffering standards.

Massing

Building massing shall provide visual richness and reinforce a human scale. Larger buildings shall incorporate a hierarchy of forms to avoid a single, monolithic appearance. Techniques may include the use of distinct building components, variation in roof forms, and intentional projections or recesses. Changes in massing shall be cohesive and avoid excessive fragmentation or inconsistent street facades.

Proportion

Proportional harmonies in building massing and building elements should be considered in order to produce visual harmony throughout the building facade. It should be noted that streetfront building elements have typically used vertical, as opposed to horizontal, proportions as it has traditionally seemed to offer a more pedestrian-friendly experience.



FIGURE 3.1.c: Example of a successful streetscape.

Layering

Building facades with layering and depth are important for creating the visual scales and pedestrian experiences intended within the Emerald Reserve study area. Techniques for avoiding “flat” facades include the following: the setting back of windows behind the plane of the main facade; the use of window sills, awnings, canopies; the extension of roof eaves; the expression of columns through arcades or changes in plane.

Freestanding Commercial, Office, and other unique buildings

Buildings shall be designed as four-sided architecture with recommended high quality and finish-grade materials used consistently on all facades. Other materials such as precast concrete, decorative concrete block or decorative facade panels may be appropriate if properly detailed and integrated with the architecture. Metal, stucco, and finished wood may be used as accents, but should not be the primary material for any facade.

3.2 Materials

A varied and complimentary materiality should be incorporated throughout the Emerald Reserve Masterplan Study Area. Materials and colors should possess a timeless aesthetic. They should be complementary to the more recent high quality outlot retail developments. These Design Guidelines establish a baseline level of material quality to protect existing investment and support long-term district value.

For enduring and classic character, materials comparable in quality and durability to those found in Downtown Greendale are encouraged.

MATERIAL QUALITY

High-quality, durable materials shall be used throughout the study area. The following guidelines describe appropriate levels of material quality and their recommended locations.

The use of environmentally responsible and sustainable building materials are strongly encouraged.

Examples of High Quality Materials

- Brick
- Stone
- Wood (finish grade)
- Fiber cement
- Fine plaster stucco
- High quality, commercial grade Metal Panel systems
- Rain screen systems
- Innovative recycled materials and technologies
- Terracotta
- Architectural Precast (integrally colored and detailed)
- High-performance storefront systems
- Photovoltaic-integrated systems



FIGURE 3.2.a: Example of quality materials in downtown Greendale

Examples of Low Quality Materials

- EIFS (Exterior Insulation and Finish Systems)
- Utility grade materials
- Low quality corrugated metals
- Low quality lumber
- Low quality glazing
- Faux stone panels
- Exposed Concrete Masonry Units (CMU's)
- Vinyl or aluminum lap siding

Material Locations

Materials shall be thoughtfully integrated into building facades. While the guidelines do not categorically prohibit specific materials, they establish expectations for appropriate placement and quality. Proposed buildings will be reviewed for material selection, composition, and durability.

High-quality materials shall be used along primary roadways, public access routes, and any facade directly engaging the public realm.

Lower-quality materials shall not be used at street level. Decorative or secondary materials may be incorporated as accents but shall not serve as the dominant facade material. Utility-grade materials shall be



FIGURE 3.2.b: Recent Investment in the Mall Facade's



FIGURE 3.2.c: Recent outlot credit union development

limited to building areas not visible from publicly accessible spaces.

Architectural metal panels shall not comprise more than 25% of any facade surface unless otherwise approved. Developers shall provide specification sheets demonstrating material quality and longevity.

Stucco shall not comprise more than 25% of any facade surface. Developers shall provide specification sheets demonstrating durability and finish quality.



FIGURE 3.2.d: Example of successful exterior material integration

Glazing Usage

Glazing is a critical component of building design. Buildings along primary roadways shall incorporate adequate glazing to promote engagement, activate street edges, and enhance safety through visibility.

Glazing Amounts

Clear, non-tinted glazing is required along street frontages. The primary glazing zone is measured between 2 feet and 8 feet above grade. Glazing extending to the floor, as well as transoms and clerestories, is encouraged. Fritted glazing is permitted. Tinted glazing and opaque glass are prohibited except as accents or where screening parking or service areas.

The glazing zone is measured along the street frontage and excludes service entries. The following minimum glazing percentages apply to the ground floor:

- Commercial: minimum 40%
- Large-format Retail: minimum 15%
- Civic/Institutional: minimum 40%
- Residential: minimum 25%

Where feasible, glazing shall also be incorporated along facades facing publicly accessible areas such as private drives or parking courts.

Ribbon windows may be used as an accent but shall not serve as the dominant facade treatment. They shall be used only where alternative window configurations are not feasible.

Alternative Street Level Glazing

Alternative facade features may satisfy up to 50% of the required glazing percentage along street frontages. These features may include: awnings, canopies, architectural lighting, projecting signage, hanging planters, landscaped planter beds, movable planters, benches, and integrated seating elements.

Entry Special Conditions

Facades located at primary entry points or key intersections are considered special conditions. These facades shall be treated as primary facades regardless of whether they contain building entrances.

3.2 Materials (Continued)

RECOMMENDED PRIMARY MATERIALS

Brick (natural colors preferred, painted brick is not allowed)



Brown



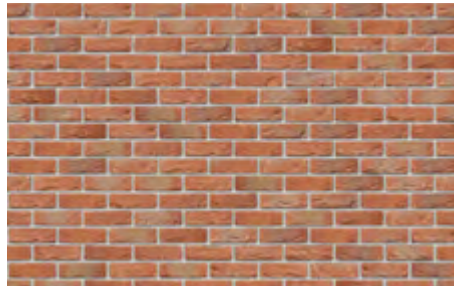
Dark Gray



Natural / Varied



Light Gray

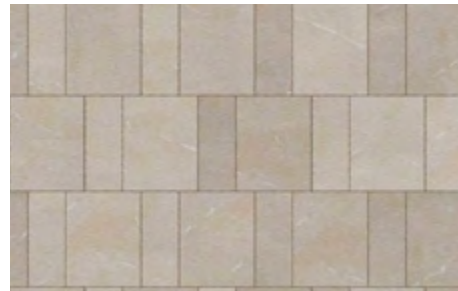


Red

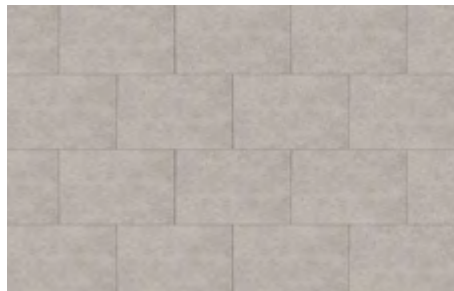


Yellow / gold

Stone (natural colors preferred)



Beige



Gray

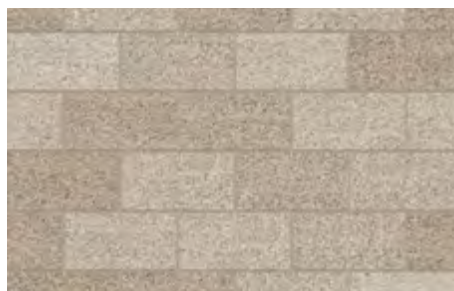


Tan

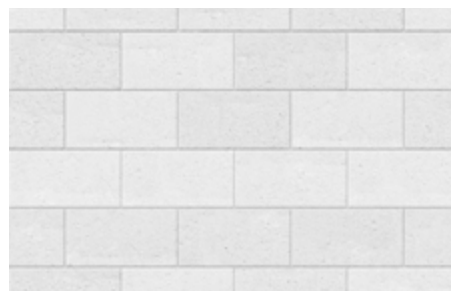
Burnished Block (split face preferred, variety of colors acceptable)



Gray



Tan



White

RECOMMENDED SECONDARY MATERIALS

Architectural metal panel (variety of colors and patterns acceptable)



Rectangular, monolithic



Rectangular, varied



Textured

Wood (variety of styles and species acceptable)



Tongue and Groove paneling



Exterior Wood Screen

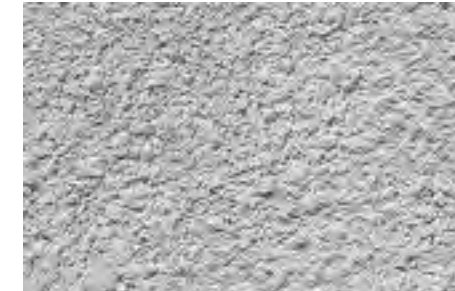


Wood paneling in storefront

Stucco (variety of colors and styles acceptable)



White

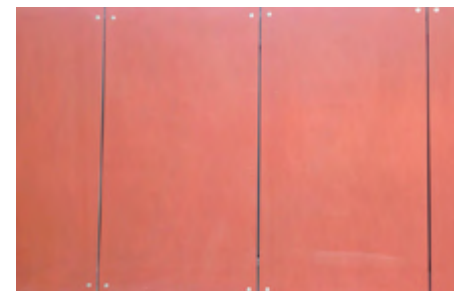


Gray

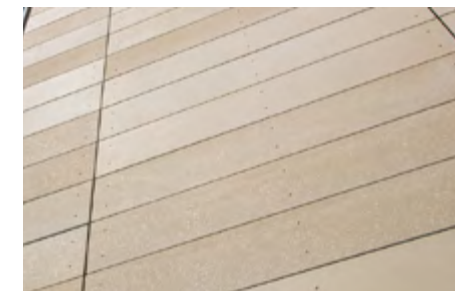


Tan

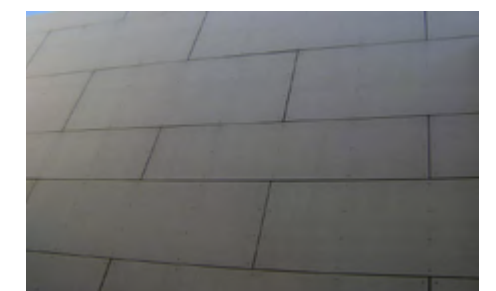
Cementboard (natural colors preferred)



Terra Cotta (earth tones)



Tan



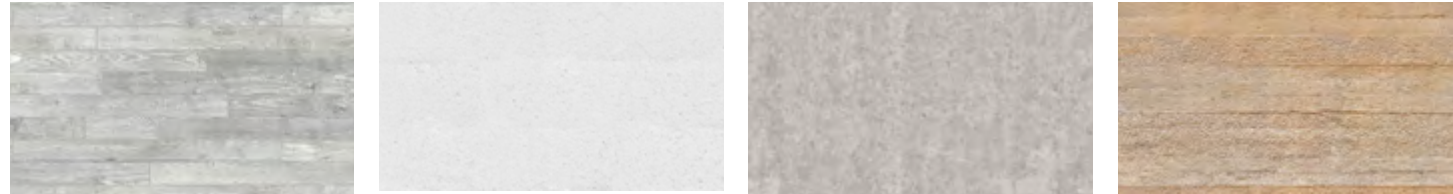
Gray

3.2 Materials

RECOMMENDED ACCENT MATERIALS

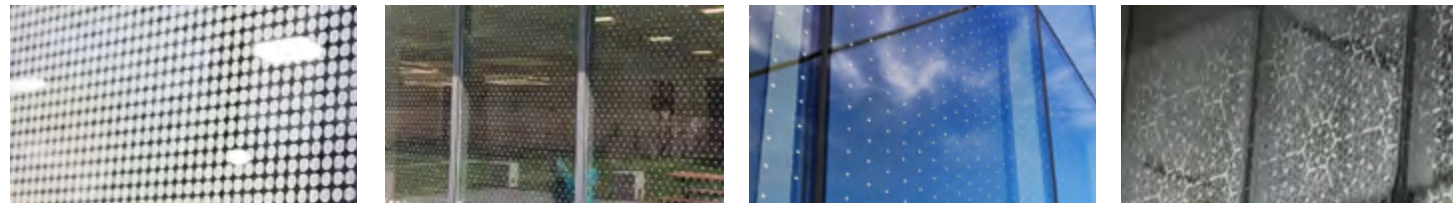
Examples of accent material locations: low base below glazing or decorative banding. Translucent glazing may not replace clear glazing. These materials should be used in accent applications ONLY.

Concrete (variety of colors and textures acceptable)



Textured (Board form or other) White Light gray Tinted

Fritted glazing (variety of patterns acceptable)



Mostly opaque Partially transparent Mostly transparent Decorative accent

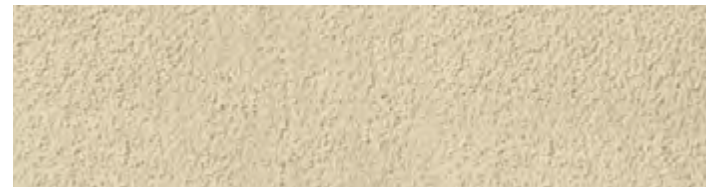
Translucent materials (variety of styles acceptable)



White translucent Semi-translucent Spandrel

RESTRICTED MATERIALS

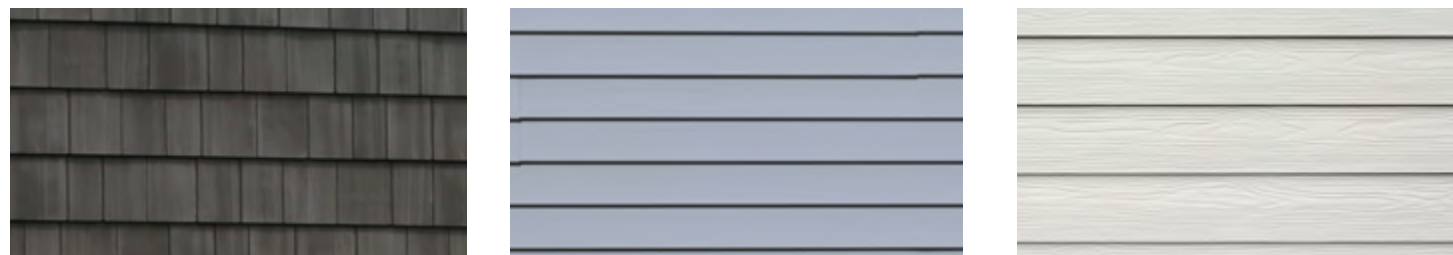
The materials below would only be permitted above the ground floor level.



Exterior insulation and finishing system (EIFS)

UNACCEPTABLE MATERIALS

Due to their residential aesthetic and/or low durability, the materials below are not permitted.



Shingle Siding Aluminum Siding Vinyl Siding

SCREENING GUIDELINES

Certain building components must be screened from public view. The following guidelines should be followed for screening trash areas and mechanical units:

All mechanical units must be screened from view. Pad-mounted HVAC units may be screened with decorative vegetation or built fencing. Roof-mounted HVAC units must have a built enclosure if the unit is visible from street-level pedestrian areas. Any built fencing around mechanical units must match the building to which it is attached. No chain-link fence may be used for any portion of screening element.

All trash areas must be fully enclosed and completely screened from view with a built enclosure. Built enclosure must match aesthetic of surrounding buildings. Enclosure must close and latch securely. No chain link fence may be used for trash enclosures at any location.

Recommended HVAC enclosure (foliage, built screen)



Unacceptable HVAC enclosure (chain link, not fully enclosed)



Recommended trash enclosures (made from quality materials, no dumpster visible, fully closed and latched)



Unacceptable trash enclosure (not fully enclosed, chain link fence used, dumpster/trash visible)



3.3 Outdoor Lighting

Artificial lighting will be a component of the Emerald Reserve Masterplan that promotes pedestrian and driver safety in the neighborhood, increases the quality of life by extending the hours one can be active outside, and creates an urban ambiance.

BUILDING LIGHTING

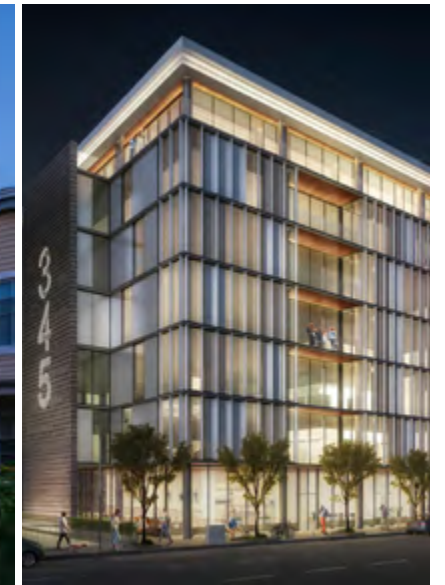
Building facades should be designed with integrated lighting locations in mind. Accent lighting is encouraged to highlight architectural features which add character. Lighting diagrams demonstrating lighting methods should be incorporated in the design review process to ensure that public/private adjacencies for lighting intensity are respected.

Outdoor lighting standards shall follow these general guidelines:

- All lighting must be LED unless there is a specific benefit to the development and approved as an acceptable alternate.
- Exterior lighting should aim to further enhance building architecture and important landscape features, reinforce access points, and illuminate pedestrian routes.
- A consistent light temperature of 3000k should be followed across the Emerald Reserve Masterplan study area for building feature lighting. This light level is warm and inviting, timeless, and consistent brand identity that is also comfortable at night.
- Colored and/or color changing lighting would need special permission from the village of Greendale. This may require rendering or visualizations to illustrate the final appearance prior to permission and lighting installation.
- Other types of lighting - such as gas flame - shall be submitted to the Village of Greendale for consideration and final approval.



EXAMPLES OF OUTDOOR LIGHTING



3.4 Regulations for Building Zones – Descriptions

MIXED USE ZONE

The Mixed Use Zone is intended to serve as the most active, dense and vibrant portion of the Emerald Reserve planning area. This zone accommodates a flexible mix of commercial, residential, retail, restaurant, civic, and office uses, either vertically integrated within the same building or developed as single-use buildings that collectively contribute to a cohesive mixed-use district.

Buildings within this zone shall frame streets, plazas, and primary pedestrian corridors, reinforcing an urban character and strong street presence. Active ground-floor uses are required along primary corridors and gathering spaces, though residential or office uses may be permitted where designed to maintain transparency, articulation, and pedestrian engagement.

Greater building height and density are intended within this zone, particularly along primary corridors and central redevelopment areas to maximize highest and best usage of land values. However, building massing shall be organized to maintain pedestrian scale at street level and transition appropriately toward adjacent lower-intensity areas. Surface parking shall not dominate street frontages, and development patterns shall prioritize walkability, shared parking strategies, and long-term infill flexibility.

Architectural expression within the Mixed Use Zone may vary, but buildings shall contribute to a consistent urban framework through coordinated materials, rhythm, scale, and frontage design.

EXAMPLES OF MIXED USE ZONE



TRANSITIONAL NEIGHBORHOOD ZONE

The Transitional Neighborhood Zone is intended to provide a residential-focused environment that transitions in scale and intensity between the Mixed Use Zone and surrounding existing neighborhoods. This zone shall consist primarily of townhomes, small-scale apartment buildings, stacked flats, garden-style housing, or similar residential typologies. Refer to the Emerald Reserve Masterplan Comprehensive Plan Amendment or reach out to the Village for more information on permissible land uses in this zone.

Development within this zone shall emphasize a neighborhood character defined by articulated facades, front entries oriented toward public streets, and consistent street tree and terrace patterns. Building heights and massing shall step down from adjacent mixed-use areas and respect the scale of nearby residential neighborhoods.

Parking solutions shall be integrated in a manner that minimizes visual impact and reinforces residential frontage patterns. Surface parking shall be located to the side or rear of buildings where feasible, and garage access shall avoid dominating primary street elevations.

The Transitional Neighborhood Zone is intended to support a complete neighborhood environment while maintaining compatibility with adjacent residential areas through appropriate building scale, buffering, and landscape transitions.

EXAMPLES OF TRANSITIONAL NEIGHBORHOOD ZONE



3.5 Regulations for Building Types Table

	Type I	Type II
Zone / Building Type Standards	Transitional Residential Neighborhood Zone	Mixed-Use Zone
Lot Standards (Minimum Unless Noted)		
Lot Area	varies	varies
Lot Width	varies	varies
Lot Depth	varies	varies
Build-to-Zone Guidelines		
Main Building Front Build-to-Zone	0'-15'	0'-10' ¹
Main Building Side Build-to-Zone	0'-10'	0'-10'
Main Building Corner Lot Build-to-Zone	0'-10'	0'-5'
Main Building Rear Build-to-Zone	20'-30' ⁵	5'-30'
Accessory Building Side	5'-10'	0'-7.5'
Landscape Zone Guidelines		
Along streets/easements, where there is less than 80' gap between buildings	5' minimum width, 4' ornamental fence, hedge, or equivalent	5' minimum width, 4' ornamental fence, hedge, or equivalent
Along streets/easements, where there is an 80' gap or more between buildings	5' minimum width, 4' ornamental fence, hedge, tree line 35' or less o.c., or equivalent	5' minimum width, 4' ornamental fence, hedge, tree line 35' or less o.c., or equivalent
Height Maximum Unless Noted		
Main Building Height	35' / 3-Stories	144' / 12-Stories
Accessory Building Height	20'	20'
Height of Front Wall/Fence	4'	3'
Height of Side/Rear Wall/Fence	4'	3'
Height Minimum		
Main Building Height	16' / 2-Stories	16' / 2-Stories ²
Parking		
Shared off-street	required	required ³
Ramp or structure	allowed	allowed ⁴
Underground	allowed	allowed
Ratio (Minimum)	1.2/unit	varies ⁷
Ratio (Maximum)	1.5/unit ⁶	varies ⁸
Estimate of demand and supply	required	required

TABLE 3.5.1: Regulations for Building Types table

Supplemental Zone Standards

- Buildings located along designated primary streets shall provide active ground-floor frontage. A minimum of 60% transparency is required between 2' and 10' above grade. Blank walls exceeding 20 feet are prohibited.
- Buildings along designated primary corridors shall provide a minimum of two stories or 24 feet in height. Single-story structures are permitted only if designed for vertical expansion or integrated into a multi-tenant configuration.
- Surface parking shall not occupy more than 33% of a primary street frontage. Where parking abuts a primary street, screening through buildings, liner units, or landscape walls is required.
- Projects exceeding 150 dwelling units or 60,000 square feet of commercial floor area shall evaluate structured parking as part of site plan review.
- Where Type II abuts Type I, additional landscape buffering and step-down height transitions are required to maintain compatibility.
- unless approved through shared parking analysis.
- 1.0/unit for residential. 3.0/1000-sf commercial
- 1.4/unit for residential. 8.0/1000-sf commercial

General Zone Standards

- If allowed by the Village, Drive-through facilities shall not occupy primary street frontage. Stacking lanes must be internal to the site and screened from pedestrian corridors. No stacking lane may cross a primary pedestrian route.
- Buildings exceeding 30,000 square feet shall incorporate façade articulation at intervals not exceeding 40 feet and provide multiple entrances along public streets.
- Outdoor storage or merchandise display shall be screened from public streets and shall not encroach into required landscape or pedestrian zones.

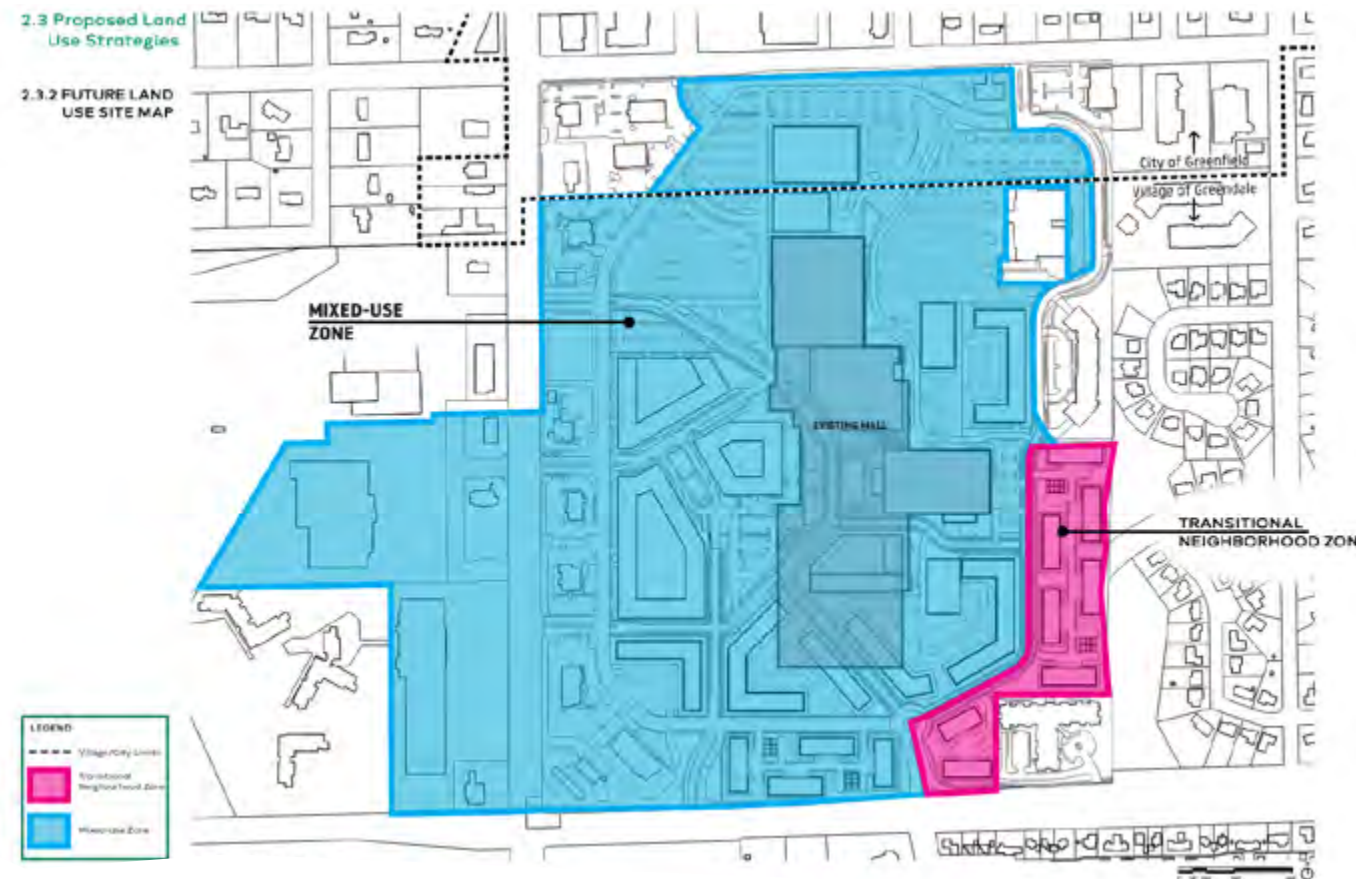


TABLE 3.5.2: Land Use Diagram

4.0

SIGNAGE GUIDELINES

4.1 Site Signage

Approved site signage shall be limited to easel / A-frame signs listed in the 'Allowable Temporary Signs' in section 4.2. These must be taken in nightly by retailers and constructed of heavy-duty, high-quality materials to ensure stability.

4.2 Building Signage

There are several retailer opportunities within the Emerald Reserve Masterplan. In addition to signage regulations by the Village of Greendale, the Emerald Reserve study area encourages its tenants to incorporate signage into the overall building design. The following guidelines are to enhance the development's urban qualities by creating a user-friendly, multi-scaled experience through signage. All primary and secondary signage must be approved by the Plan Commission as part of the site and building plan approval process.

To achieve a consistency to the Emerald Reserve Masterplan, building signage is recommended at multiple scales, and in a variety of types. A framework of recommended guidelines provides regularity and rhythm to ensure a cohesive language at all streets within the masterplan. In order to effectively integrate signage into the overall project design, recommendations have been set forth based on the following categories:

- *Types and Variation*
- *Quantity and Scale*
- *Placement and Orientation*
- *Large Format Retail: Special Conditions*
- *Material*
- *Color and Pattern*



MULTI-SCALE SIGNAGE

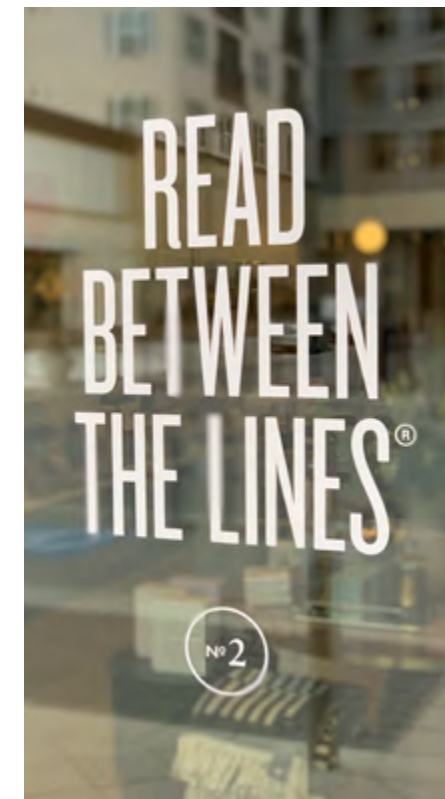
FIGURE 4.5.1

Effective signage is designed for multiple scales. Each scale creates a good user experience and should not overwhelm the character of the development. Below are examples of multi-scaled signage elements for a single tenant.

PRIMARY SIGNAGE



EYE-LEVEL SIGNAGE



SECONDARY SIGNAGE



TEMPORARY SIGNAGE



PRIMARY SIGNAGE

Multiple types of signage are preferred to add visual interest, depth, and rhythm to the facades and streetscapes of the Emerald Reserve Masterplan. To encourage a high standard of signage, while understanding the need for flexibility, multiple options are identified. Primary signage is meant to identify a tenant from a distance.



SECONDARY & EYE-LEVEL SIGNAGE

While Primary Signage identifies the retailer from a distance, the human scale is addressed by Eye-level Signage. The intermediate between the two scales addressed by Secondary Signage. Together, this layering of signage provides visual interest and promotes attraction to pedestrians walking by.



RECOMMENDED TYPES

FIGURE 4.5.2

Architectural

Primary Sign: Best

Options: Channel or Extruded

Lighting: Internal Neon, Reverse, or Internal

Location: Entry Facade



RECOMMENDED TYPES

FIGURE 4.5.3

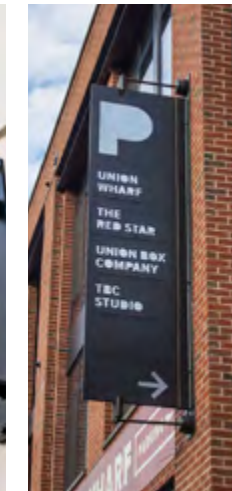
Blade

Secondary Sign: Best

Options: Horizontal or Vertical, Fabric or Rigid

Lighting: Internal or External

Location: Entry or Non-Entry Facades & Special Conditions



Extruded

Primary Sign: Better

Options: Floating or Wall-Mounted

Lighting: Reverse or External

Location: Entry or Non-Entry Facades



Awning

Primary Sign: Good

Options: Linear or Dome, Wall Mounted

Lighting: External (From Above)

Location: Entry or Non-Entry Facades & Special Conditions



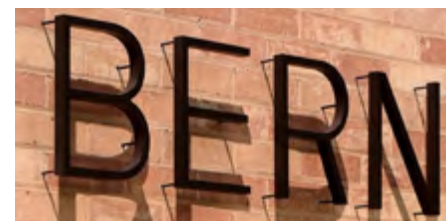
Cut-out

Primary Sign: Good

Options: Offset or Wall-Mounted

Lighting: Internal or External

Location: Entry Facade



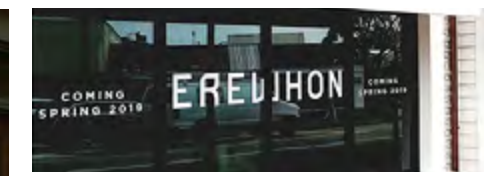
Vinyl (On-Glazing)

Primary Sign: Good

Options: Offset or Wall-Mounted

Lighting: Internal or External

Location: Entry Facade



RECOMMENDED TYPES

Included below are precedents that are indicative of the signage standard and recommendations for retailers within the Emerald Reserve Masterplan.

Precedent 1

This signage demonstrates depth as well as featuring a clean and durable letter on natural building material.



Precedent 2

The extruded letters on a canopy give dimension to the streetscape. It also provides multiple levels of signage on the facade.



Precedent 3

Well-made blade signs add visual interest for pedestrians and make stores easily identifiable.



ALLOWABLE TEMPORARY SIGNS

Temporary signs are allowed for certain durations. Temporary banner signs are allowed for a limited time after grand openings, and for seasonal events. Temporary signs must meet all requirements as details by the Village of Greendale.



Easel / A-frame signs are allowable on a daily basis, and must be taken in nightly by retailers. A-frame signs must be constructed of heavy-duty, quality materials to ensure stability. These signs may not exceed 4' in height and 2'-6" in width (no more than 10 square feet per side).



UNACCEPTABLE SIGNAGE TYPES

Due to their unattractive, illegible, or easily damaged character, the following sign types are not permitted at Emerald Reserve.*

Monument Signs

Freestanding Monument signs are not recommended on private parcels and should be coordinated with the universal wayfinding and monument signage program within the public ROW



Exception:

Monument sign that does not conflict with the overall Emerald Reserve Masterplan signage wayfinding program.

LED / Electronic

These signs can be very difficult to read and detract from the desired architecture aesthetic of the development.



***Exception:**

LED and electronic signs will be allowed at Development Monument Signs. Electronic signs may not be attached to building facades at any location.

Box Signs

These signs are generally flat, are not pedestrian friendly, and do not contribute to the architectural design of the building.



Temporary

Temporary signs are of poor quality and durability and do not contribute to the architectural aesthetic of the building.



***Exception:**

Temporary and banner signs may be used for short durations during grand openings or for seasonal messages. This rule does not apply to easel/triangle signs which are put out daily by businesses; these signs are encouraged at pedestrian locations.

Painted

When used as primary signage, these signs are very flat and do not contribute to the architectural aesthetic of the building.



***Exception:**

Painted building signage may be used when used as secondary signage if it improves the timeless character of the building and recommended signage exists.

CONDITIONAL APPROVAL SIGNAGE TYPES

Neon/Faux Neon

Neon signage will be reviewed for approval on a case by case basis. High quality market signs can be use effectively as a statement element as shown in the left image. However, lower quality neon signage can be visually overwhelming and difficult to read, per the image on the right.



Acceptable



Unacceptable

QUANTITY + SCALE

The quantity and scale of signage is important to understand when setting standards within the Emerald Reserve Masterplan so that retailers can be readily identified without becoming a billboard. The following guidelines address signage on all retail buildings within the master plan with the exception of select large-format retail special conditions.

Quantity

- 1 primary sign per facade frontage per tenant*
- 1-2 blade signs per entry facade (fabric or solid)
- 1 eye-level sign/graphic per 12 linear feet of entry facade

***Exception:**

Primary signs are also allowed on special condition facades. Perimeter buildings along primary roadways may also have additional primary signs on the facade facing the roadway if that facade is not an entry facade.

VINYL AS EYE-LEVEL SIGNAGE

CHANNEL LETTERING AS PRIMARY SIGNAGE



EXAMPLE: RETAIL STOREFRONT

- Height: 15'-8"
- 15% of 15'-8" = 28' Max Height

PERPENDICULAR SOLID BLADES AS SECONDARY SIGNAGE

Scale



General Guidelines

- Minimum sign height: 16"
- Maximum sign height: 15% of retail floor height

Blades

- Wall mounted fabric blade signs may not be >10' in height and must maintain a vertical proportion; may not extend >4' off facade or <8' from ground
- Wall mounted solid blade sign may not be >36" in width or 36" in height; may not be <8' from ground plane; may not project >4' from the outermost facade



Suspended

- Suspended signs which are perpendicular to the facade and project over pedestrian paths may not be <8' from ground nor project >4' from outermost building facade



Awning

- Minimum lettering height = 8"
- Maximum sign height = 5% of retail floor height
- Text on awning preferred on face perpendicular to ground plane
- Awning may not extend more than 4' from outermost facade



Vinyl sign on glass

- Text/graphic/pattern may not cause >10% of glazing to become opaque
- Maximum text height = 5% of retail storefront.

PLACEMENT & ORIENTATION

It is recommended that facades feature a balance of parallel and perpendicular signage to enhance visual access and branding capabilities. Signage should be located over entries, at sides of in-line bays, or at locations considerate of materials and their arrangement. Signage should be relevant within the overall architectural design.



Example of Eye Level Signage
Multiple orientations of signage attract views from different directions and are visually appealing.



Example of Blade and Awning Signage
Awnings should be located at windows and doors to emphasize architectural design. Awnings should not be continuous features which wrap the entire building or storefront.



Unacceptable Signage Placement
Signage does not brand business and is placed between two structural bays. No other signage is provided.



Recommended Signage Placement
Signage is centered on the retail unit and between facade elements. Signage works with building design to define storefront size.

LARGE FORMAT RETAIL: SPECIAL CONDITIONS

For retail buildings larger than 20,000 square feet, special conditions shall be considered on an individual basis. Due to the large nature of these retails, the previous signage guidelines may not be appropriate. The following standards should be applied to large retail buildings.

Types and Variation

Signage at large-format retail locations will be held to the same standards of the previous signage sections with the exception of size limit on the primary facade. It is recommended that large format retailers incorporate a variety of a signage to add visual interest. The example to the right is successful at combining multiple layers of signage.

Quantity and Scale

Multiple scales of signage are recommended on large-scale retail buildings. This ensures a comfortable approach for customers, whether they approach by vehicles or by foot.

Placement and Orientation

Due to the large scale of signage for large retailers, it may not be effective to utilize primary signage to convey a building entry point. Signage should be placed appropriately on single-material building areas. Signage at this scale is not a substitute for architectural variety and should be considered an architectural feature when considering placement and orientation.



Signage meeting the previously-listed size recommendations may feel inadequate on a large facade.



Incorporation of large signage is appropriate on facades of large-format retail buildings.



MATERIAL

To achieve a consistency to the Emerald Reserve Masterplan, building signage is preferred to have a consistent language. The signage materials and textiles selected should be durable, contrast and complement the building's facade, be properly illuminated, and be well integrated into the overall building storefront design.



COLOR & PATTERN

Color of signage shall complement building materials. Colors are recommended to be solid. Limit use of distracting patterns.



Recommended

Signage colors and materials complement building materials.



Examples of Complimentary Retail Signage

RECOMMENDED MATERIALS FOR RETAIL SIGNAGE



Stainless Steel



Translucent Durable Plastic



Steel Channel



Wood



Vinyl Lettering/Graphics



Aluminum

AWNING GUIDELINES

Recommended

Dome awnings complement upper arched windows. Colors are neutral and consistent. Awnings are made of durable canvas.

Unacceptable

Domed awnings do not complement rectangular facade elements. Vinyl awnings are unacceptable. Awnings may not extend full length of building.



Example of Recommended Awning



Example of Unacceptable Awnings



EMERALD

R E S E R V E

RINKA+



Village of _____
GREENDALE
THE GARDEN COMMUNITY • WI